

**STREET INDEX**

WHIPPLE STREET  
(PUBLIC- CITY)

OREGON STREET  
(PUBLIC- CITY)

ORINETAL STREET  
(PUBLIC- CITY)

**BUILDING USE, PARKING & VEGETATIVE CANOPY NOTES:**

1. THE EXISTING BUILDING IS 25,275 SQUARE FEET. THERE IS NO INCREASE IN BUILDING COVERAGE PROPOSED.

2. THE EXISTING USE OF THE BUILDING IS OFFICE AND WAREHOUSE. THE PROPOSED USE OF THE BUILDING IS RETAIL GOODS ESTABLISHMENT.

3. BUILDING FLOOR AREA OF THE RETAIL SPACE= 25,275 SQUARE FEET. PER SECTION 1402, TABLE 14-1 OF THE ZONING ORDINANCE, FOR A RETAIL GOODS ESTABLISHMENT, 1 PARKING SPACE IS REQUIRED FOR EACH 500 SF OF GROSS FLOOR AREA. 25,275 SF / 500 SF = 50.55 TOTAL REQUIRED SPACES = 51.

OVERALL TOTAL SPACES TO BE PROVIDED = 52.  
\*22 SPACES + LOADING AREA PROVIDED ON SUBJECT PROPERTY, 30 SPACES PROVIDED ON AP 68 LOT 850 (RECORDED AGREEMENT WITH LOT 850 PROPERTY OWNER REQUIRED).

4. BUILDING FLOOR AREA OF THE RETAIL SPACE= 25,275 SF. PER SECTION 1402, TABLE 14-1 OF THE ZONING ORDINANCE, FOR A RETAIL GOODS ESTABLISHMENT, 1 BIKE PARKING SPACE IS REQUIRED FOR EACH 2,500 SF OF GROSS FLOOR AREA OVER 10,000 SF. 25,275 SF - 10,000 SF = 15,275 SF 15,275 SF / 2,500 SF = 6.11 TOTAL REQUIRED SPACES = 6.

OVERALL TOTAL SPACES TO BE PROVIDED = 6.

FOR A RETAIL GOODS ESTABLISHMENT, 25% OF REQUIRED BIKE SPACES SHALL BE LONG-TERM SPACES 6 SPACES X 0.25 = 1.5

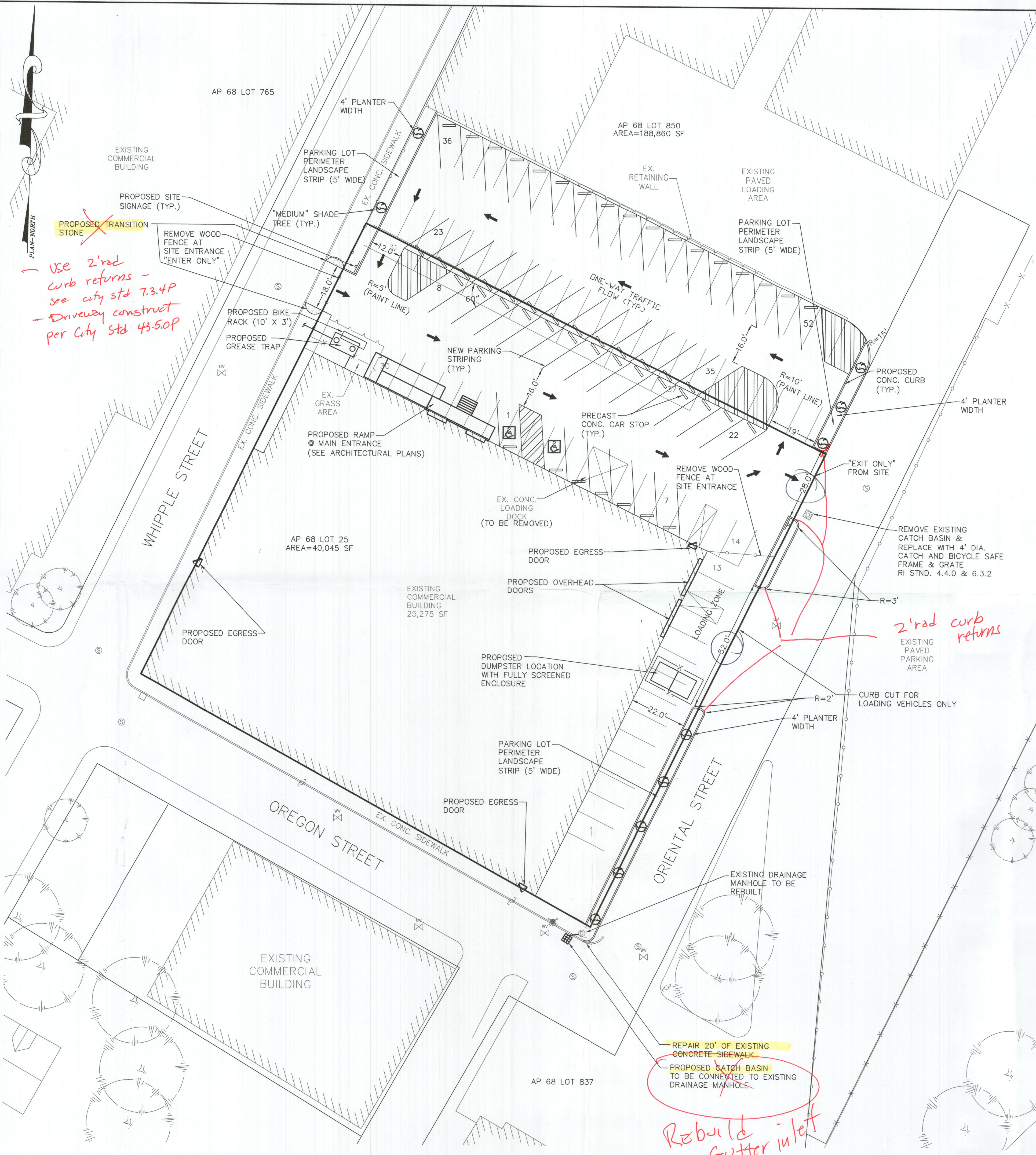
OVERALL MINIMUM TOTAL LONG-TERM BIKE SPACES TO BE PROVIDED = 2

6. TOTAL LOT AREA = 40,045 SF. PER SECTION 1503(C) OF THE ZONING ORDINANCE, FOR AN M-1 DISTRICT, 15% OF THE SQUARE FOOTAGE OF THE LOT MUST BE COVERED IN VEGETATIVE CANOPY. 40,045 SF X 0.15 SF = 6,006.75 SF TOTAL REQUIRED CANOPY = 6,007 SF

OVERALL MINIMUM TOTAL VEGETATIVE CANOPY TO BE PROVIDED = 7,700 SF (11 "MEDIUM" SHADE TREES @ 700 SF OF CANOPY PER TREE)

**LEGEND**

PERIMETER LINE	—
ABUTTER LINE	—
FENCE (WOOD)	—
FENCE (CHAINLINK)	-x-x-x-x-
SIGN	+
UTILITY POLE	⊕
CATCH BASIN	⊗
DRAIN MANHOLE	⊙
WATER GATE VALVE	⊗
SEWER MANHOLE	⊙
GAS VALVE	⊗



*Use 2' rad curb returns - see city std 7.3.4P - Driveway construct per City Std 43.5.0P*

*2' rad curb returns*

*Rebuild gutter inlet*

**GENERAL NOTES:**

1. THIS PROPERTY FALLS WITHIN ZONE AE, ELEVATION 26 FT AS MAPPED BY FIRM #44007C0308J DATED 10/2/2015.
2. SOILS ON SITE ARE CLASSIFIED AS UDORTHENTS-URBAN LAND COMPLEX (UD) AND MERRIMAC-URBAN LAND COMPLEX (MU) AS IDENTIFIED BY THE USDA RI SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
3. THE SUBJECT PROPERTY IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
4. CITY OF PROVIDENCE SEWER IS LOCATED WITHIN WHIPPLE STREET, OREGON STREET, AND ORIENTAL STREET.
5. PUBLIC WATER IS LOCATED WITHIN WHIPPLE STREET, OREGON STREET, AND ORIENTAL STREET.
6. THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

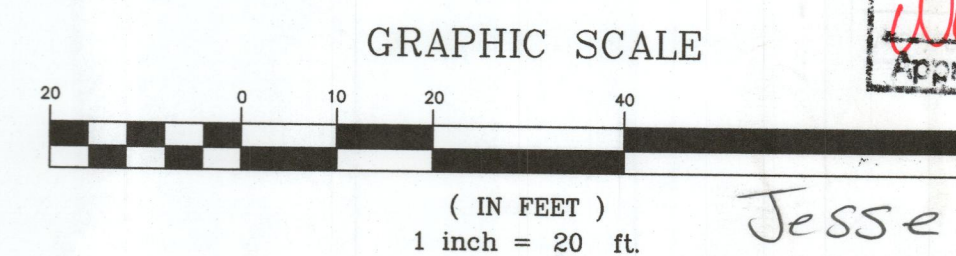
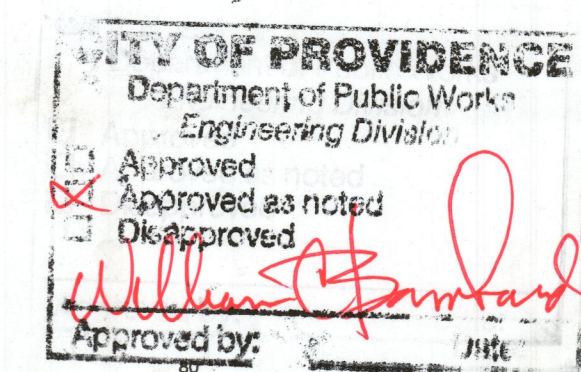
ZONING DISTRICT: M-1	NONE
MINIMUM LOT AREA	NONE
FRONT SETBACK	NONE
INTERIOR SIDE SETBACK	NONE
CORNER SIDE SETBACK	NONE
REAR SETBACK	NONE
MAXIMUM BUILDING HEIGHT	75'

**PLAN REFERENCE:**

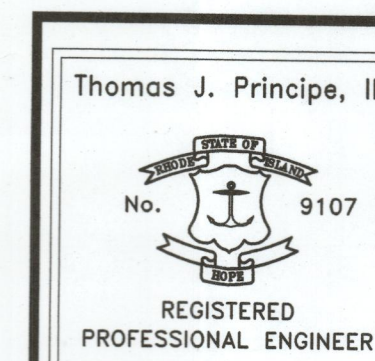
BOUNDARY SURVEY AND EXISTING CONDITIONS PLAN ENTITLED: SURVEY PLAN ASSESSOR'S PLAT 68 LOTS 293, 803, 25, 324, 776, 779, 782, 783 AND 784 PREPARED FOR ADMIRAL ASSOCIATES BY JAMES G. FLYNN, PLS NO. 1904

OWNER/APPLICANT:  
ADMIRAL ASSOCIATES  
10 ADMIRAL STREET  
PROVIDENCE, RI 02908

*Curb on site is 6" not 7" corner sw on Oriental in good cond*



Jesse  
774-292-9691  
508-567-9472  
SITE LAYOUT PLAN



**PRINCIPE COMPANY, INC.**  
ENGINEERING DIVISION  
PO BOX 298  
TIVERTON, RI 02878  
401-816-5385

**REVISIONS**

No.	DATE	DRWN	CHKD
1.	7/28/20	JAR	JAR
2.	9/23/20	JAR	JAR
3.	10/21/20	JRM	TJP

**DEVELOPMENT PLAN REVIEW**  
for  
85 WHIPPLE STREET  
AP 68, LOT 25  
in  
PROVIDENCE, RHODE ISLAND

SCALE: 1"=20'	SHEET NO: 1 OF 1
DRAWN BY: JAR	DESIGN BY: JAR
DATE: 6/26/20	CHECKED BY: TJP
	PROJECT NO.: LD_2020-6